

Staff Summary Report



Development Review Commission Date: 11/18/08

Agenda Item Number: ____

SUBJECT: Hold a public meeting for a Development Plan Review for **SUNRISE PRESCHOOL (PL080400)**, located at 1628 East Broadway Rd.

DOCUMENT NAME: DRCr_Sunrise _111808

PLANNED DEVELOPMENT (0406)

SUPPORTING DOCS: Yes

COMMENTS: Request for **SUNRISE PRESCHOOL (PL080400)** (Robert Orsi, GRRO VI LLC, property owner; Eric Leibsohn, Eric Leibsohn & Assoc. LTD., applicant) for the redesign of an existing building and site for a childcare facility consisting of a 16,657 s.f., single story building on 1.72 acres, located at 1628 East Broadway Road in the CSS, Commercial Shopping and Services District. The request includes the following:

DPR08238 - Development Plan Review including site plan, building elevations and landscape

PREPARED BY: Sherri Lesser, Senior Planner (480-350-8486)

REVIEWED BY: Lisa Collins, Development Services Planning Director (480-350-8989)

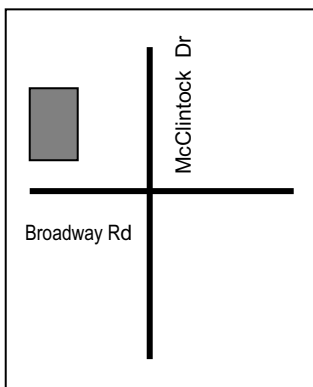
A handwritten signature in black ink, appearing to be 'LC' or similar, located next to the 'REVIEWED BY' line.

LEGAL REVIEW BY: N/A

FISCAL NOTE: N/A

RECOMMENDATION: Staff – Approval, subject to conditions

ADDITIONAL INFO:



| | |
|---------------------|---|
| Gross/Net site area | 1.72 net acres |
| Total Building area | 16,657 s.f. |
| Lot Coverage | 22% (50% maximum allowed) |
| Building Height | 17'4"ft (35 ft maximum allowed) |
| Building setbacks | +110 ' front, 55' side, +53' rear (0, 0, 10 min.) |
| Landscape area | 15% (15% minimum required) |
| Vehicle Parking | 68 proposed spaces (56 surface spaces provided) |
| Bicycle Parking | 18 spaces (17 minimum required) |

A neighborhood meeting is not required with this application.

PAGES:

1. List of Attachments
2. Comments
- 3-5. Reason for Approval / Conditions of Approval
6. History & Facts / Zoning & Development Code Reference

ATTACHMENTS:

1. Location Map(s)
2. Aerial Photo(s)
3. Letter of Explanation
4. A1 Site Plan
5. A2.1 Floor Plan
6. A4 Building Elevations
7. A5 Building Sections
8. Colored Elevation
9. Color Board

COMMENTS:

This site is located on the north side of Broadway Rd; west of McClintock Drive. The previous uses of the building and site include a Red Lobster Restaurant; a sports bar with outdoor patio and a retail store (Hustler of Hollywood); multi-family housing complexes are located on both sides of this site. The Development Plan Review approval is for a 16,657 s.f., single story building, 9846 s.f. existing and 6811 s.f. proposed with 13313 s.f. of outdoor play area. This application includes review of the building elevations, site plan, landscape plan and preliminary grading and drainage plan.

PUBLIC INPUT

A neighborhood meeting is not required.

PROJECT ANALYSIS**DEVELOPMENT PLAN REVIEW****Site Plan**

The Sunrise Preschool development includes an expansion of the existing building for a new corporate office suite to the rear of the site and outdoor play areas surrounding the front and sides of the building. The parking lot surrounds the building on three (3) sides. A pedestrian path links the main entrance for the preschool building with the parking area and adjacent corporate office portion of the building and connects with the Broadway Road Street front. Staff notes that the shade structures are shown on the site plan and are part of this development plan review. The elevations for the shade structures will be reviewed through the planning plan check process. The shade structures shall meet the required building and fire code separations from the main structure.

Building Elevations

The building elevations for the new portion are designed to tie in with architectural elements of the main building; utilizing similar form and material. A raised parapet clad in metal enhances the main entrance elevation of the building; similar raised elevation projections identify the entrances for the corporate office portion. The massing of the single story elevation is divided into smaller components through changes in the parapet heights, pilaster structures, changes in materials and colors. The building materials consist of sand-finished stucco for exterior walls and pilasters; masonry wainscot located at the front portion of building and metal standing seam shade awnings. The play area fence will be constructed of tubular steel fence material with pickets.

Landscape Plan

The landscape plan features a palette of low-water use trees and plants. The landscape exists from previous tenants of the site and will be maintained with minor additional plant material at the new refuse enclosure location.

Section 6-306 D Approval Criteria for Development Plan Review

1. The placement of building reinforces the street wall and maximizes natural surveillance and visibility of pedestrian areas (building entrances, pathways, parking areas, etc.), enhances the character of the surrounding area, facilitates pedestrian access and circulation.
2. Materials are compatible with the surroundings
3. Buildings and landscape elements have proper scale with the site and surroundings
4. Large building masses are divided into smaller components that create a human-scale as viewed from the sidewalk
5. The building has a distinct base and top, as identified by ground floor elements, roof forms, and detailing.
6. Building facades have architectural detail and contain windows at the ground level to create visual interest and to increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility
7. Clear and well lighted walkways connect building entrances to one another and to adjacent sidewalks.
8. Lighting is compatible with the proposed building and uses, and does not create negative effects.
9. Accessibility is provided in conformance with the Americans with Disabilities Act (ADA).
10. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses. Traffic impacts are minimized in conformance with the city transportation policies, plans and design criteria.
11. Safe and orderly circulation separates pedestrian and bicycles from vehicular traffic.
12. Plans appropriately integrate crime prevention principles such as territoriality, natural surveillance, access control, activity support, and maintenance.
13. Landscape accents and separates parking, buildings, driveways and pedestrian walkways.

PUBLIC INPUT

No public input received to date.

Conclusion

Based on the information provided by the applicant and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria for approval.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for Development Plan Review.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

DPR 08057

CONDITIONS OF APPROVAL

Site Plan

1. The shade structure elevations and final location to be reviewed with planning plan check.
2. The driveways shown on the site plan do not meet Tempe Engineering T-320 Standards. Construct new entrances to conform to current engineering standard and provide upgraded paving at each driveway apron consisting of unit paving. Extend unit paving in the driveway from the back of the accessible public sidewalk bypass to 20'-0" on site and from curb to curb at the drive edges.
3. Any freestanding utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
4. Relocate and disperse the bicycle racks from parking lot to designated areas near building entrances. Final locations to be reviewed with planning plan check.

Building Elevations

5. The materials and colors are approved as presented. The color scheme approved to match existing building colors; final colors to be field verified as part of planning inspection.
6. Provide main colors and materials with a light reflectance value of 75 percent or less. Submit any additions or modifications for review during building plan check process.
7. Exposed conduit, piping, or related materials is not allowed.

Lighting

8. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.

Landscape

9. The plant palette for new landscape areas to match existing. Submit any additions or modifications for review during building plan check process.
10. Irrigation notes:
 - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½" (if any). Provide details of water distribution system.
 - b. Locate valve controller in a vandal resistant housing.

11. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness or less. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Signage

12. Provide address sign(s) on the west north and east building elevations.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Your drawings must be submitted to the Development Services Building Safety Division for building permit by 04/22/2009 or Development Plan approval will expire.
- Specific requirements of the **Zoning and Development Code** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time, and reduce the potential for multiple plan check submittals, it is necessary that the applicant be familiar with the Zoning and Development Code (ZDC), which can be accessed through www.tempe.gov/zoning, or purchased at Development Services.
- SITE PLAN REVIEW: Verify all comments by the Public Works Department, Development Services Department, and Fire Department given on the Preliminary Site Plan Reviews dated 10/31/08. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Department will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- STANDARD DETAILS:
 - Tempe Standard "T" details may be accessed through www.tempe.gov/engineering or purchased from the Engineering Division, Public Works Department.
 - Tempe Standard "DS" details for refuse enclosures may be accessed through www.tempe.gov or may be obtained at Development Services.
- BUILDING HEIGHT: Measure height of buildings from top of curb along front of property (as defined by Zoning and Development Code).
- SECURITY REQUIREMENTS (refer to Public Safety and Security Considerations report, dated 10/31/08 and included in the Site Plan Review markup packet):
 - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage opportunity for ambush opportunity. Distances of 20'-0" or greater, between a pedestrian path of travel and any hidden area allow for increased reaction time and safety.
 - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.

- If required prior to Certificate of Occupancy, owner shall have management contact the Crime Prevention Unit of the Police Department (480-858-6330) to be included in the "Operation Notification" crime prevention program.
- A security vision panel shall be provided at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- Avoid upper/lower divided glazing panels in exterior windows at grade level, particularly where lower (reachable) glass panes of a divided pane glass curtain-wall system can be reached and broken for unauthorized entry. Do not propose landscaping or screen walls that conceal area around lower windows. If this mullion pattern is desired for aesthetic concerns, laminated glazing may be considered at these locations.
- FIRE: (Jim Walker 480-350-8341)
 - Fire lanes need to be clearly defined. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies; or overhead structure, if allowed by Fire Department. Details of fire lane(s) are subject to approval of the Fire Department.
- ENGINEERING AND LAND SERVICES:
 - Any overhead utilities on or adjacent to site must be placed underground per City of Tempe Code, Section 25-120 thru 25-126 and ord. 88.85. Underground utilities requirement excludes high-voltage transmission line unless project inserts a structure under the transmission line. Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- REFUSE:
 - Double container enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with Standard Detail DS-116.
 - Contact Sanitation staff (Ron Lopinski 480-350-8132) to verify that vehicle maneuvering and access to the enclosure is adequate.
 - Develop strategy for recycling collection and pick-up from site with Ron Lopinski. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
 - Gates for refuse enclosure(s) are not required. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days
- DRIVEWAYS:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works/Traffic (Shelly Seyler 480-350-8219)
- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- LIGHTING:
 - Follow requirements of ZDC Part 4 chapter 8
 - Follow the guidelines listed under appendix E "Photometric Plan" of the Zoning and Development Code.
 - Indicate the location of all exterior light fixtures on the site, landscape (and photometric) plans. Avoid conflicts with lights in order to maintain illumination levels for exterior lighting.

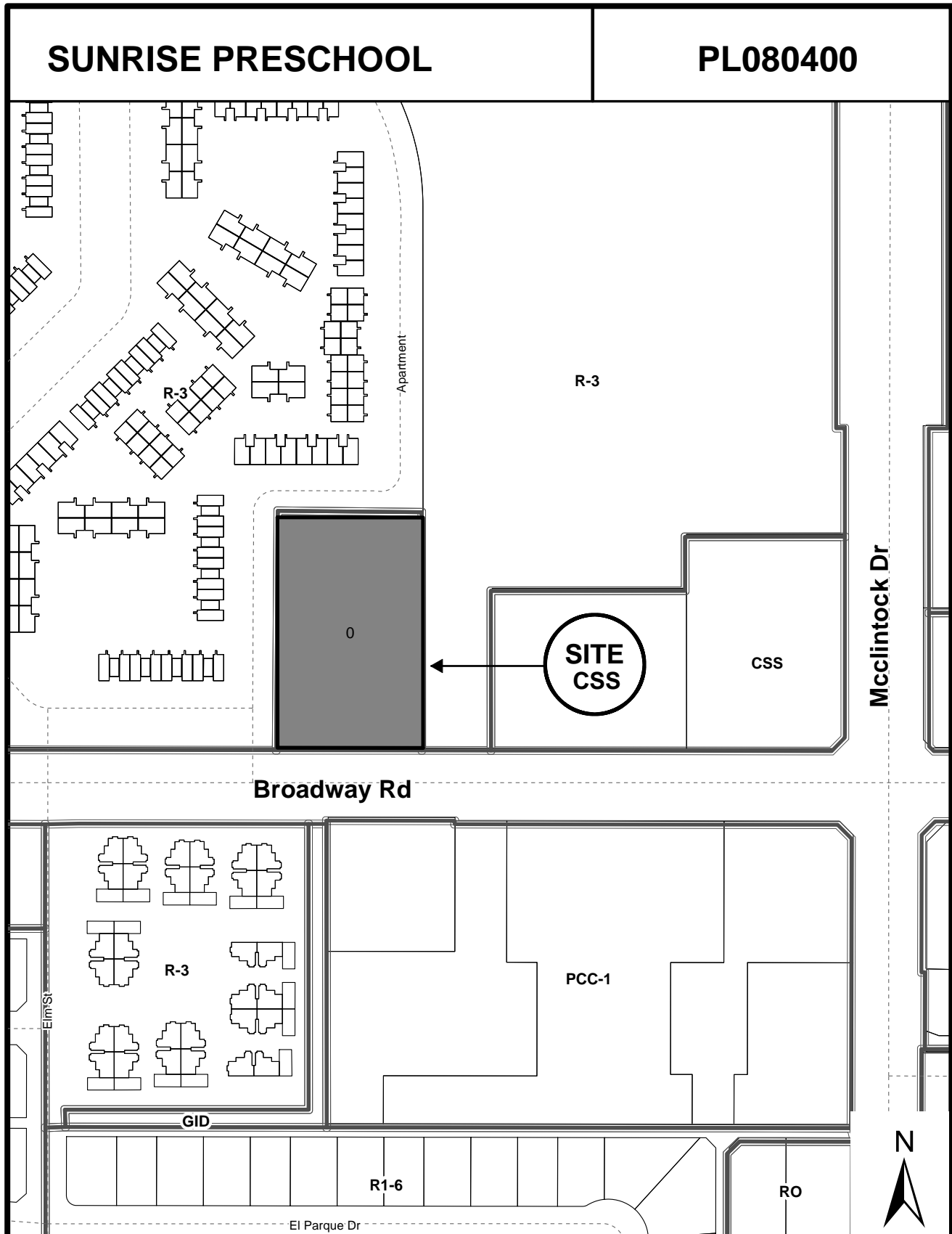
- **LANDSCAPE:**
 - Prepare a landscape plan that identifies existing plant inventory for the site and adjacent street frontage and incorporate new landscape areas on the plan.
 - Follow requirements of requirements of the ZDC Part 4, Chapter 7, Landscape and Walls.
- **SIGNS:**
 - Obtain sign permit for any identification signs as well as for internally (halo) illuminated address signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process. Separate Development Plan Review process is required for signs ZDC Part 4 Chapter 9 (Signs).

HISTORY & FACTS:

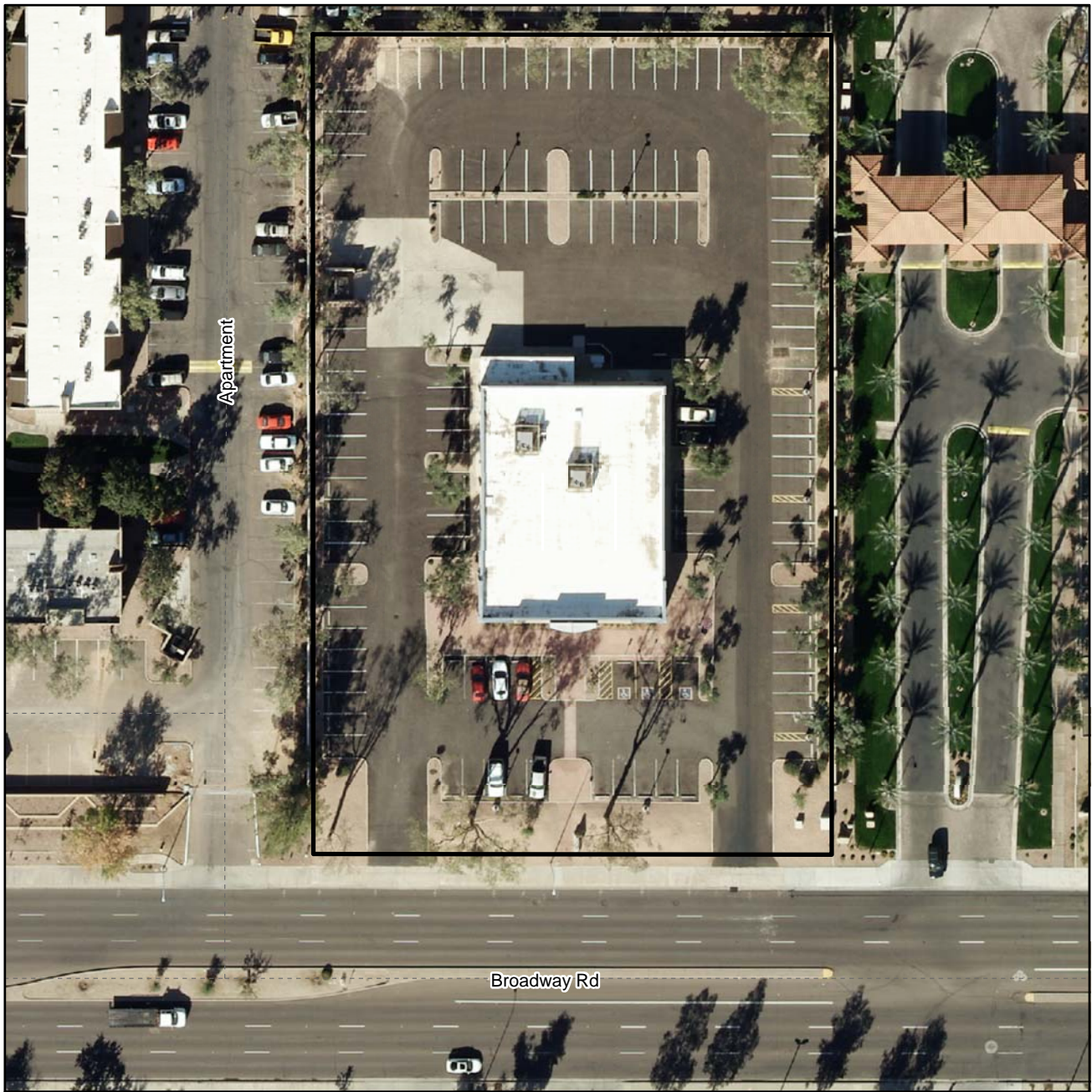
| | |
|---------------------------|---|
| <u>January 13, 1975.</u> | The Board of Adjustment approved a use permit for Red Lobster. |
| <u>February 19, 1975.</u> | The Design Review Board approved building elevations, site plan, landscape plan and signs for Red Lobster Inn located at 1628 East Broadway Road in the I-2, General Industrial Zoning District. |
| <u>April 16, 1975.</u> | The Design Review Board approved light standards and roof material for Red Lobster Inn at 1628 East Broadway Road in the I-2, General Industrial Zoning District. |
| <u>April 15, 1987.</u> | The Design Review Board approved the request by Red Lobster for a building elevation modification and signage. |
| <u>January 20, 1999.</u> | The Design Review Board denied the request for a building mounted sign for Red Lobster #148 located at 1628 East Broadway Road in the I-2, General Industrial District. |
| <u>June 19, 2002</u> | Design Review Board approved the building elevations, site plan and landscape plan for 1st Round Draft Sports Restaurant located at 1628 East Broadway Road in the I-2, General Industrial District. |
| <u>September 15, 2005</u> | City Council approved the request by West Willow Development (CC050035) (Sportswest Holdings, LLC, John Peck, property owner) for a zoning map amendment from GID, General Industrial District to CSS, Commercial Shopping and Service District on 1.72 net acres, located at 1628 East Broadway Road. |
| <u>May 2, 2006.</u> | Development Services Department Design Review Board staff has approved a request by Tempe Retail for a building addition and site modifications to an existing building located at 1628 E. Broadway Rd. |

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review



Location Map



SUNRISE PRESCHOOL (PL080400)



October 20, 2008

City of Tempe
Development Services, Planning Division

RE: Sunrise Preschool and Corporate Offices
1628 E. Broadway
Tempe, Arizona

LETTER OF EXPLANATION

This project is for the renovation and addition of the existing building located at the above stated address. It is the intent to renovate the interior of the existing building (previously occupied for a retail store) into a new preschool. The proposed addition adjacent to the north side will be occupied for additional preschool space as well as new corporate offices for Sunrise Preschools. On the south portion of the site and around the east and west sides of the school, a new enclosed playground is proposed. The existing parking and landscaping around the perimeter of the site will remain except as noted otherwise. The design of the new addition is intended to integrate with the existing building in terms of design elements, scale and colors. The exterior of the existing building will essentially remain as is. A new sign at the front entry will be submitted under separate application.

SUBMITTED BY:

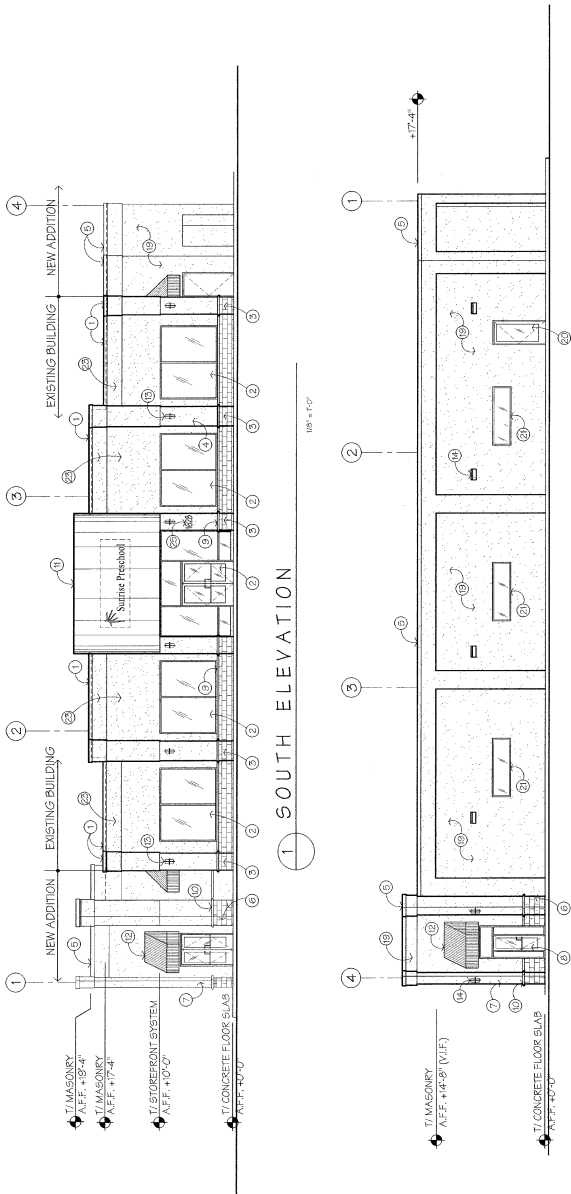
Eric Leibsohn, AIA
Principal Architect



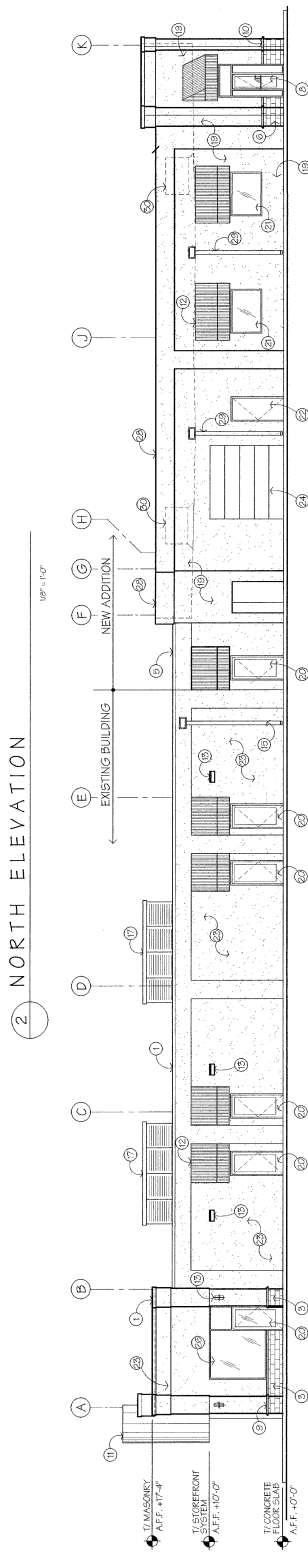
OCT 22 2008



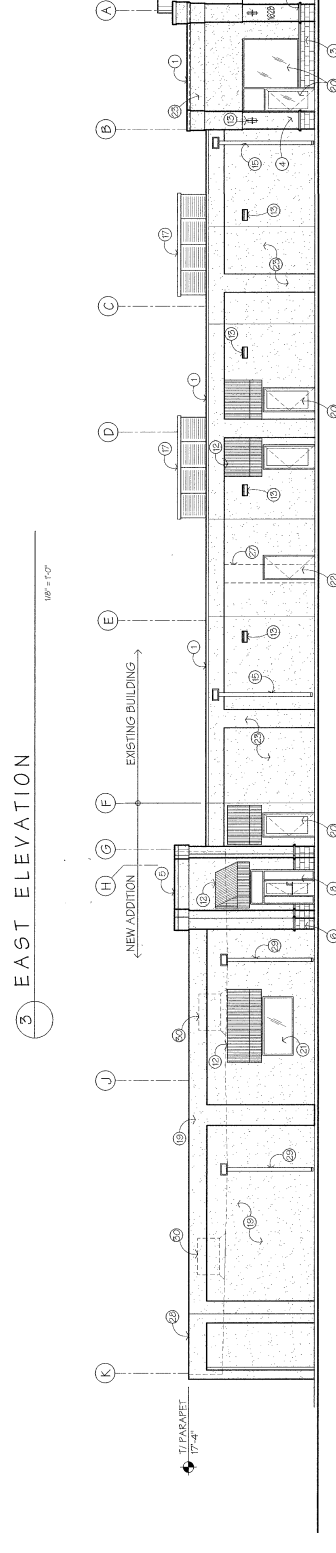
- | | |
|----|---|
| 1 | EXISTING METAL COPING TO REMAIN. |
| 2 | EXISTING SLOUT-FACE CONCRETE BLOCK TO REMAIN. |
| 3 | EXISTING SMOOTH-FACE CONCRETE BLOCK TO REMAIN. |
| 4 | EXISTING SMOOTH-FACE CONCRETE BLOCK TO MATCH EXISTING, TYP. |
| 5 | NEW PREFINISHED METAL COPING TO MATCH EXISTING, TYP. |
| 6 | NEW INTEGRALLY COLORED SLOUT-FACE CONCRETE BLOCK TO MATCH EXISTING, TYP. |
| 7 | NEW PREFINISHED METAL COPING TO MATCH EXISTING, TYP. |
| 8 | NEW ALUMINUM SLOUT-FACE CONCRETE BLOCK TO MATCH EXISTING, TYP. |
| 9 | EXISTING CAST STONE PIER SILL TO REMAIN. |
| 10 | NEW CAST STONE PIER SILL TO MATCH EXISTING. |
| 11 | EXIST DROUSHED ALUM. CURVED PANEL SYSTEM. |
| 12 | NEW PREFINISHED METAL. ANNING TO BE PAINTED. SEE COLOR ELEVATIONS. |
| 13 | EXISTING EXTERIOR LIGHT FIXTURES TO REMAIN. TYPICAL. |
| 14 | NEW EXTERIOR LIGHT FIXTURE TO MATCH EXISTING. TYPICAL. |
| 15 | EXISTING PREFINISHED METAL DOWN SPOUTS & SCUPPERS TO REMAIN. |
| 16 | NEW PREFINISHED METAL DOWN SPOUTS & METAL SCUPPERS BY BERGIDGE TO MATCH EXISTING. |
| 17 | EXISTING ROOF SCREEN FOR MECHANICAL UNITS TO REMAIN. |
| 18 | NEW MECHANICAL UNITS - SEE MECHANICAL DRAWINGS. |
| 19 | NEW EXTERIOR PAINTED WESTERN ONE KOTE 5100 CO SYSTEM TO MATCH EXISTING. |
| 20 | NEW ALUMINUM FRAMED GLASS DOOR. |
| 21 | NEW WINDOWS. |
| 22 | NEW HOLLOW METAL DOOR & FRAME PAINT TO MATCH EXISTING. |
| 23 | EXISTING EXTERIOR EIFS FINISH TO REMAIN. |
| 24 | 10' x 12' ROLL-UP DOOR. |
| 25 | EXISTING BUILDING ADDRESS NUMBER TO REMAIN. |
| 26 | REPLACE EXISTING ALUM. WINDOW W/ NEW DOOR & WINDOW FLOOR PLAN. |
| 27 | REMOVE EXISTING POP-UP PIER. PATCH SURFACE AS REQUIRED TO MATCH EXISTING. |
| 28 | NEW PARAMET POP-UP COPING W/ WESTERN ONE KOTE SYSTEM, PAINTED TO MATCH EXISTING. |
| 29 | NEW PAINTED DOWN SPOUT, PAINTED TO MATCH EXISTING. |
| 30 | NEW A/C UNITS TO BE FULLY SCREENED BY PARAMET |



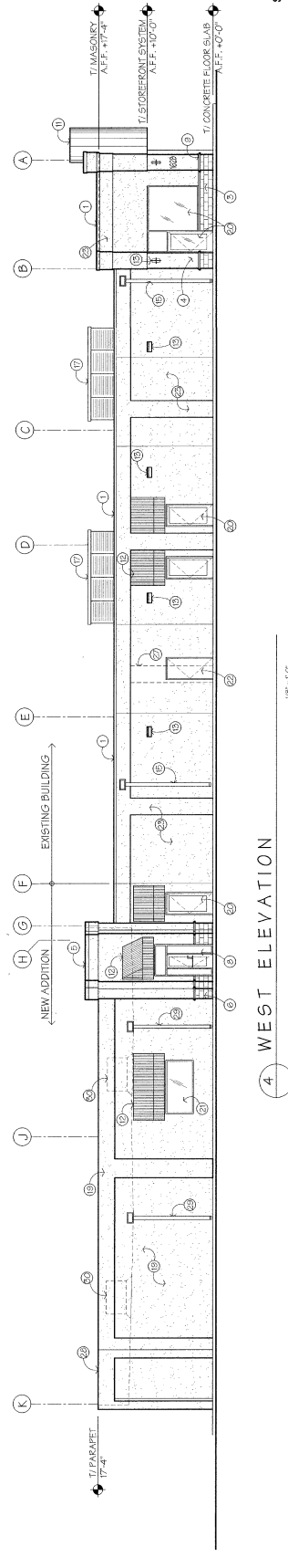
SOUTH ELEVATION



NORTH ELEVATION

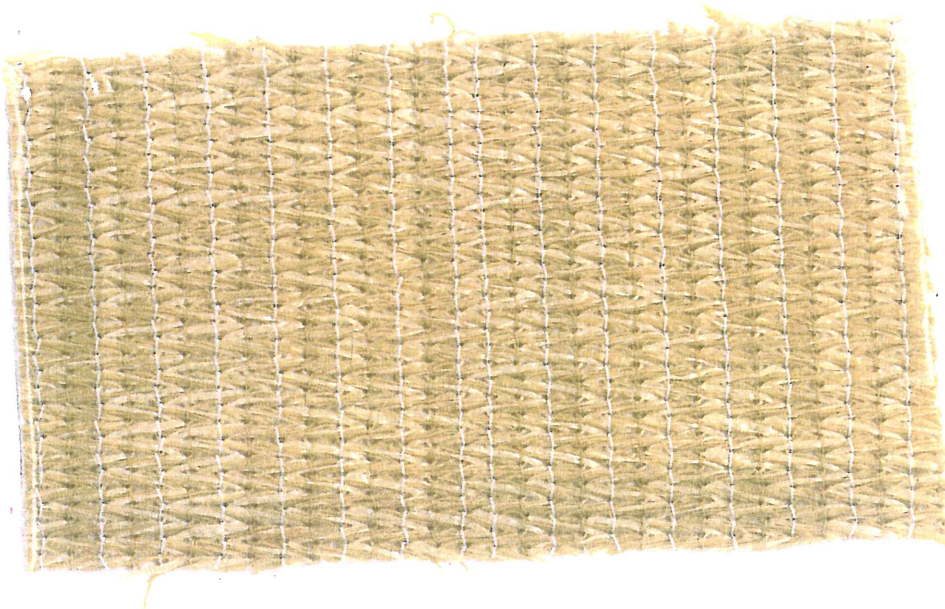


EAST ELEVATION



WEST ELEVATION

② BUILDING SECTION



CANOPY FABRIC

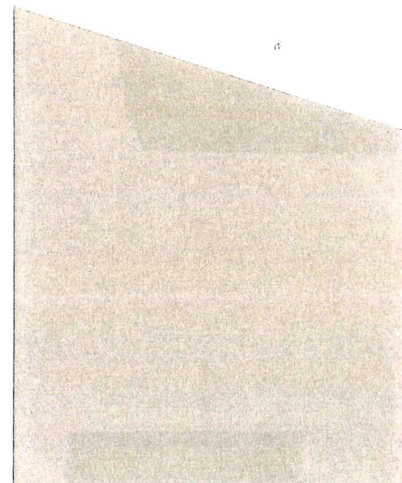


T009-BG16
Designer Beige 90% Gloss

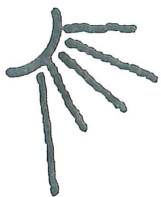
STEEL POLES
PAINTED



P-1 DUNN EDWARDS
SAND DUNE



P-2 DUNN EDWARDS
TRAIL DUST



Sunrise Preschools

1628 E. BROADWAY ROAD
TEMPE, ARIZONA

Color Chart

SPR08084 / DS081223